

## **DECKS AND PORCHES**

A building permit is required for all decks and porches. The design and specifications for all decks and porches must meet the requirements of the 2015 International Residential Code, the Woodstock City Code and Woodstock Unified Development Ordinance (UDO).

Individual subdivision covenants may have special requirements and restrictions in addition to those adopted by the City of Woodstock. It is up to the property owner to determine if covenants exist and how the impact the construction of a deck or porch.

Every effort is made to review plans within 10 working days of receipt of all the required information. The applicant will be contacted when the permit is ready to be issued or if corrections to the plans are necessary. Permit fees are paid at the time the permit is ready to be issued.

### **PERMIT FEE:**

\$40.00

If electrical work is proposed, a separate electrical permit (\$55.00) is required.

## **PERMIT APPLICATION AND SUBMITTAL DOCUMENTS**

A completed permit application shall be submitted including the property owner's address and contact information, the cost of construction and all contractors' information. If electrical work is proposed, a copy of the electrician's license and a letter of intent stating the work to be performed shall also be provided. A homeowner can perform his/her own electrical work if they reside at the residence. The following plan documents are also required:

- Two copies of a plat of survey or a site plan drawn to scale indicating:
  - the location and dimensions of the deck or porch depicting distances from property lines and the principal structure.
  - the location of any easements on the property and the location of any underground or above ground utilities.
  - the location of basement window wells. NOTE: Basement escape windows cannot be covered or blocked, unless the location of the deck or porch allows the emergency escape window to be fully opened and provides a path not less than 36" in height to a yard or court.

- Two copies of deck or porch specifications (refer to attached diagrams)
  - type and depth of piers (minimum depth is 42").
  - information regarding post and beam locations and dimensions.
  - beam span between posts and the clear span of joists. Refer to attached Span Chart for additional information.
  - nominal lumber sizes of all joists and type and direction of decking.
  - height above grade. Guard rails are required on all decks and porches thirty inches (30") or more above grade.
  - stair detail, including width, tread depth, and riser height.
- If electrical is proposed, include a one-line drawing showing raceway type, depth of raceway and wire size. All electrical outlets shall be G.F.C.I. and weather protected and installed in accordance with the 2014 National Electrical Code.

## **GENERAL REQUIREMENTS FOR DECKS AND PORCHES**

A deck is defined as an unenclosed platform serving as a floor, located above the finished grade, and adjoining or attached to a building. A deck has no solid walls other than the wall of the building to which it may be attached. If enclosure of a deck or porch is planned for the future (i.e., screen room or 3-season room), additional requirements may apply. Plan accordingly.

### **Setbacks**

- Decks and porches which are **no greater in height than the finished first floor elevation** of the principal structure must be situated at or behind the front yard setback line or the side yard abutting a street setback line, and at least five (5) from the side and rear lot lines.
- Decks and porches which are **greater in height than the finished first floor elevation** of the principal structure, must meet the same setbacks required of the principal structure, in accordance with the zoning district requirements in the UDO. If enclosure of a deck or porch is planned for the future (i.e., screen room or 3-season room), the deck or porch must meet the same setbacks required of the principal structure.
- **Unenclosed steps or stairs** to a dwelling must be at least three (3) feet from a side or rear lot line and may not encroach more than seven (7) feet into a required front yard.
- Decks shall not be located within any easements.

### **Piers**

- Minimum depth required is 42".
- Piers must be sized to carry superimposed loads.
- If enclosure of the deck or porch is planned for the future (i.e., screen room or 3-season room), piers may have to be larger or spaced closer together. Plan accordingly.
- Holes must be a minimum 10" wide and must be inspected and approved prior to pouring concrete.

### **Guard Rails**

- Guard rails are required on all decks and porches 30" or more above grade.
- Guard rails shall be a minimum of 36" high with a maximum spacing between the balusters or vertical posts of 4" inches so that an object four inches 4" or larger cannot pass through them.
- Guard rails shall not be installed in a manner that creates a ladder-like effect.

### **Stairways**

- Stairways shall not be less than three feet (3') wide.
- The minimum clear tread depth is 10" and the maximum riser height is 7 and  $\frac{3}{4}$ ".
- Handrails of proper grip size are required on one side of stairs, four or more risers in height.
- The minimum height of stair handrail is 34" and the maximum height is 38".

## **REQUIRED INSPECTIONS**

Inspections should be scheduled at least 24 hours in advance by calling the Building and Zoning Department at (815) 338-4305. The following information is needed to schedule an inspection:

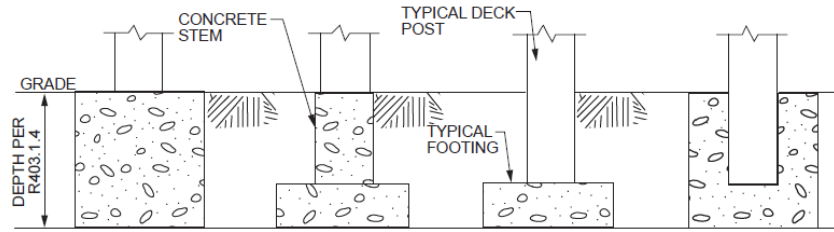
- Address of the inspection
- Type of inspection
- Date and time when inspection is needed

**The following inspections are required:**

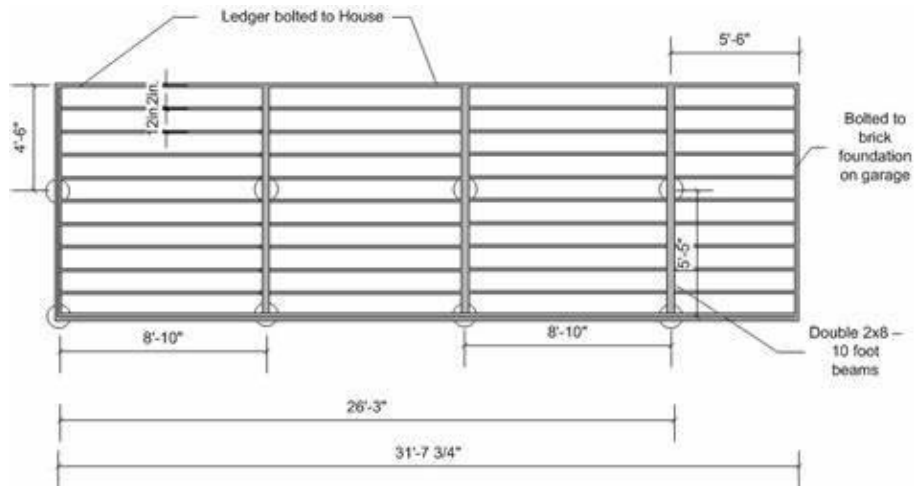
- Pier or footing, after the holes are dug, but prior to pouring concrete.
- Rough framing (Note: where the deck is attached to the house, lateral load connection devices shall be in place at this time)
- Final inspection, upon completion of project prior to use (Note: final inspection should be completed prior to the installation of any proposed skirting or screening)

**Call J.U.L.I.E before you dig! 811**

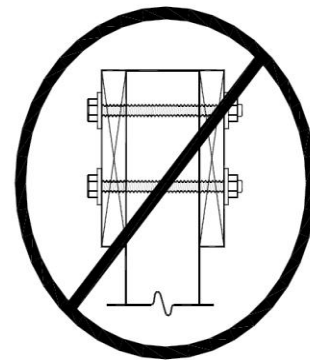
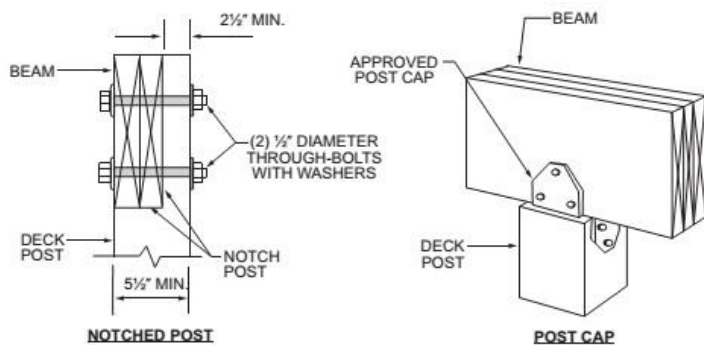
## Typical information that should be included with all permit applications



**FIGURE R507.8.1**  
**TYPICAL DECK POSTS TO DECK FOOTINGS**

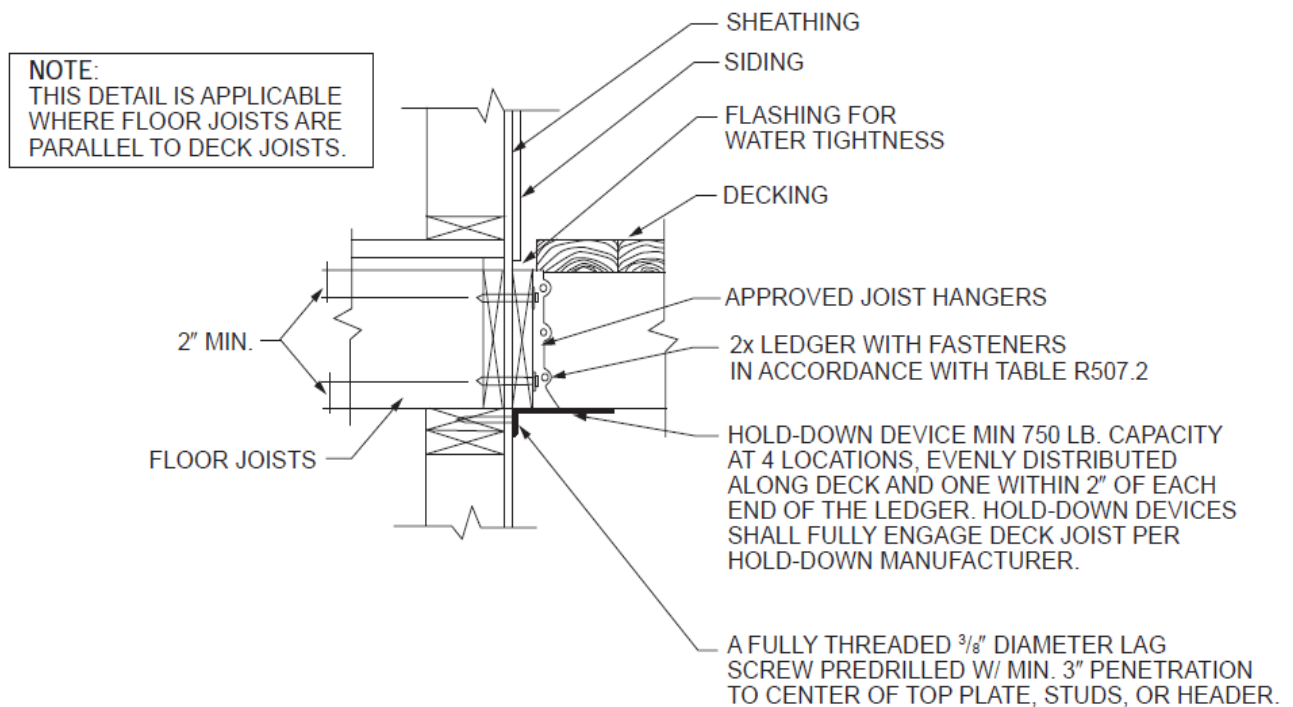
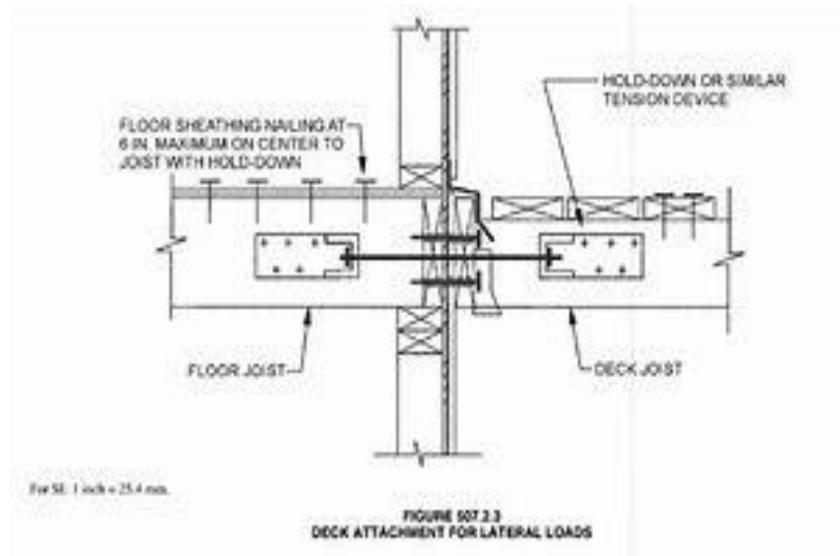


**Typical Deck Pier Layout including distances between supporting Piers**



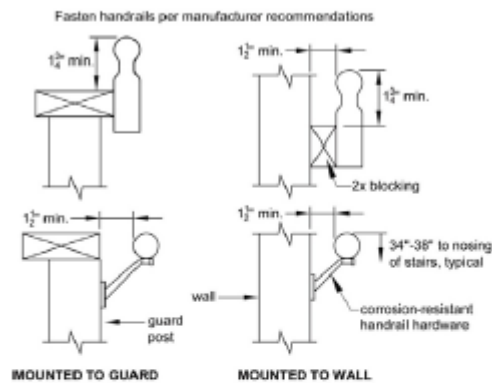
**FIGURE 10: PROHIBITED**  
**POST-TO-BEAM ATTACHMENT**

**Typical Deck Post-to-Beam connection Type**

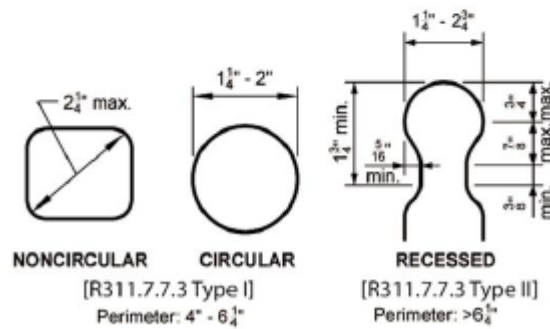


**Typical Deck Attachment for Lateral Loads when connected to the structure**

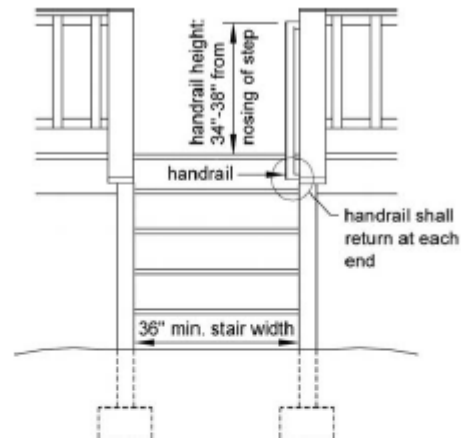
**Figure 32A. Handrail Mounting Examples.**



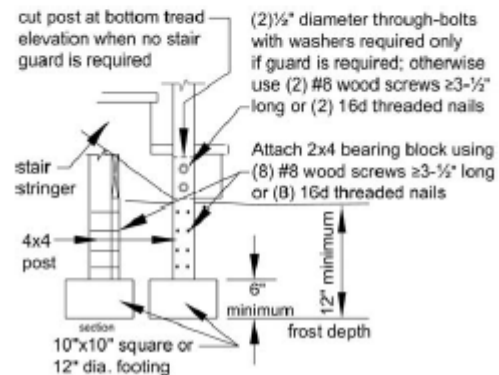
**Figure 32B. Handrail Grip Size.**



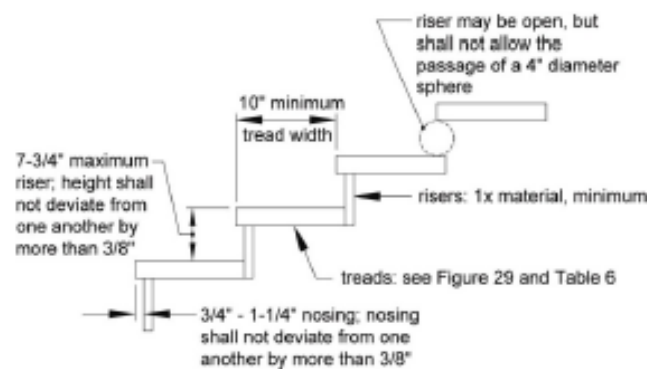
**Figure 33. Miscellaneous Stair Requirements.**



**Figure 34. Stair Footing Detail.**



**Figure 27. Tread and Riser Detail.**



Typical Stair and Handrail Requirements (Stairs may also land on a minimum 3" thick concrete slab).

## SPAN CHART

**TABLE R507.6**  
**DECK BEAM SPAN LENGTHS<sup>a, b</sup> (ft. - in.)**

SPECIES <sup>e</sup>	SIZE <sup>d</sup>	DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet)						
		6	8	10	12	14	16	18
Southern pine	2 - 2 × 6	6-11	5-11	5-4	4-10	4-6	4-3	4-0
	2 - 2 × 8	8-9	7-7	6-9	6-2	5-9	5-4	5-0
	2 - 2 × 10	10-4	9-0	8-0	7-4	6-9	6-4	6-0
	2 - 2 × 12	12-2	10-7	9-5	8-7	8-0	7-6	7-0
	3 - 2 × 6	8-2	7-5	6-8	6-1	5-8	5-3	5-0
	3 - 2 × 8	10-10	9-6	8-6	7-9	7-2	6-8	6-4
	3 - 2 × 10	13-0	11-3	10-0	9-2	8-6	7-11	7-6
	3 - 2 × 12	15-3	13-3	11-10	10-9	10-0	9-4	8-10
Douglas fir-larch <sup>e</sup> , hem-fir <sup>e</sup> , spruce-pine-fir <sup>e</sup> , redwood, western cedars, ponderosa pine <sup>f</sup> , red pine <sup>f</sup>	3 × 6 or 2 - 2 × 6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3 × 8 or 2 - 2 × 8	6-10	5-11	5-4	4-10	4-6	4-1	3-8
	3 × 10 or 2 - 2 × 10	8-4	7-3	6-6	5-11	5-6	5-1	4-8
	3 × 12 or 2 - 2 × 12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4 × 6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4 × 8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4 × 10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4 × 12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
	3 - 2 × 6	7-4	6-8	6-0	5-6	5-1	4-9	4-6
	3 - 2 × 8	9-8	8-6	7-7	6-11	6-5	6-0	5-8
	3 - 2 × 10	12-0	10-5	9-4	8-6	7-10	7-4	6-11
	3 - 2 × 12	13-11	12-1	10-9	9-10	9-1	8-6	8-1

**TABLE R507.5**  
**DECK JOIST SPANS FOR COMMON LUMBER SPECIES<sup>f</sup> (ft. - in.)**

SPECIES <sup>a</sup>	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVER <sup>b</sup> (inches)			SPACING OF DECK JOISTS WITH CANTILEVERS <sup>c</sup> (inches)		
		12	16	24	12	16	24
Southern pine	2 × 6	9-11	9-0	7-7	6-8	6-8	6-8
	2 × 8	13-1	11-10	9-8	10-1	10-1	9-8
	2 × 10	16-2	14-0	11-5	14-6	14-0	11-5
	2 × 12	18-0	16-6	13-6	18-0	16-6	13-6
Douglas fir-larch <sup>d</sup> , hem-fir <sup>d</sup> , spruce-pine-fir <sup>d</sup>	2 × 6	9-6	8-8	7-2	6-3	6-3	6-3
	2 × 8	12-6	11-1	9-1	9-5	9-5	9-1
	2 × 10	15-8	13-7	11-1	13-7	13-7	11-1
	2 × 12	18-0	15-9	12-10	18-0	15-9	12-10
Redwood, western cedars, ponderosa pine <sup>e</sup> , red pine <sup>e</sup>	2 × 6	8-10	8-0	7-0	5-7	5-7	5-7
	2 × 8	11-8	10-7	8-8	8-6	8-6	8-6
	2 × 10	14-11	13-0	10-7	12-3	12-3	10-7
	2 × 12	17-5	15-1	12-4	16-5	15-1	12-4